



Trapco Inspections, LLC.

Jupiter, FL

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Inspected By: Mike Trapasso. Lic#HI10573



Home Inspection Report

Prepared For:

Jane & John Doe

Property Address:

1 Main Street

Jupiter, FL 33458

Inspected on Monday, October 19, 2020 at 9:00 am

Table of Contents

Report Summary	6
General	10
Site	10
Exterior	13
Garage	15
Roofing	17
Structure	24
Insulation and Ventilation	26
Electrical	28
HVAC	34
Plumbing	40
Interior	45
Kitchen	46
Bar	50
Bathrooms	50
Bedrooms	54
Laundry	56
Lawn Sprinkler	57
Pool/Spa	57

Thank you for the opportunity to conduct a home inspection of the property listed above. We understand that the function of this report is to assist you in understanding the condition of the property to assist in making an informed purchase decision.

The report contains a review of components in the following basic categories: site, exterior, roofing, structure, electrical, HVAC, plumbing, and interior. Additional categories may or may not be included. The report is designed to be easy to read and comprehend however it is important to read the entire report to obtain a full understanding of the scope, limitations and exclusions of the inspection.

In addition to the checklist items of the report there are several comments which are meant to help you further understand certain conditions observed. These are easy to find by looking for their icons along the left side margin. Comments with the blue icon are primarily informational and comments with the orange icon are also displayed on the summary. Please read them all.

DEFINITION OF CONDITION TERMS

Satisfactory: At the time of inspection the component is functional without observed signs of a substantial defect.

Marginal: At the time of inspection the component is functioning but is estimated to be nearing end of useful life. Operational maintenance recommended. Replacement anticipated.

Repair or Replace: At the time of inspection the component does not function as intended or presents a Safety Hazard. Repair or replacement is recommended.

Further Evaluation: The component requires further technical or invasive evaluation by qualified professional tradesman or service technician to determine the nature of any potential defect, the corrective action and any associated cost.

SCOPE OF INSPECTION

The scope of the inspection and report is a limited visual inspection of the general systems and components of the home to identify any system or component listed in the report which may be in need of immediate major repair. The inspection will be performed in compliance with generally accepted standards of practice, a copy of which is available upon request.

Thermal imaging equipment may be used as an enhancement to identify problems not identified with the naked eye. Thermal imaging does not guarantee 100% accuracy, unless removal or destruction of components can be achieved to validate findings. When possible, other tools are used to verify thermal images, but even with these considerations, we do not claim to have x-ray vision. Conditions may change and cause the apparent temperature anomalies to be different at any time.

OUTSIDE SCOPE OF INSPECTION

Any area which is not exposed to view, is concealed, or is inaccessible because of soil, walls, floors, carpets, ceilings, furnishings, or any other thing is not included in this inspection. The inspection does not include any destructive testing or dismantling. Client agrees to assume all the risk for all conditions which are concealed from view at the time of the inspection. This is not a home warranty, guarantee, insurance policy or substitute for real estate transfer disclosures which may be required by law.

Whether or not they are concealed, the following ARE OUTSIDE THE SCOPE OF THIS INSPECTION:

Specific components noted as being excluded on the individual systems inspection forms

- Private water or private sewage systems

- Saunas, steam baths, or fixtures and equipment

- Radio-controlled devices, automatic gates, elevators, lifts, dumbwaiters and thermostatic or time clock controls

- Water softener/purifier systems or solar heating systems

- Furnace heat exchangers, freestanding appliances, security alarms or personal property

- Adequacy or efficiency of any system or component

- Prediction of life expectancy of any item

- Building code or zoning ordinance violations

- Geological stability or soils condition

- Structural stability or engineering analysis

- Termites, pests or other wood destroying organisms (dry rot)

- Asbestos, radon, formaldehyde, lead, water or air quality, electromagnetic radiation or environmental hazards

- Building value appraisal or cost estimates

- Condition of detached buildings

Pool or spas bodies and underground piping (Some of the above items may be included in this inspection)

Your inspector is a home inspection generalist and is not acting as a licensed engineer or expert in any craft or trade. Trapco Inspections, LLC recommends those items of concern be addressed prior to the closing of escrow. If your inspector recommends consulting other specialized experts, client must do so at client's expense.

Report Summary

This summary page is not the entire report. The complete report may include additional information of interest or concern to you. It is strongly recommended that you promptly read the complete report. For information regarding the negotiability of any item in this report under the real estate purchase contract, contact your real estate agent or an attorney.

Windows

1) In general, wood/ casement windows were in poor condition. Most were missing handles so they could not be tested. There was deterioration to wood framing, etc. The sellers agent limited the inspection time so I was unable to fully inspect the windows. In general, they appeared to all be in disrepair and deteriorated except for the fairly recently replaced right rear casement windows.

Roof Covering Age

2) The average life expectancy of a concrete tile roof in South Florida is 18- 25 years. This roof has far exceeded average lifespan, had multiple previous repairs and was actively leaking at skylights in bathrooms. There was also staining to attic sheathing and trusses. There was significant deterioration to about a 3'x3' section by the rear roof vent due to a previous leak though it was dry at time of inspection. Recommend further evaluation by a licensed roofer for replacement options.

Soffit and Fascia

3) There was a hole in soffit screening that should be repaired to prevent pests from entering the attic space.

Flashings

4) Damage to wood fascia showed that flashing and underlayment had failed at the bottom of the roof in a number of areas. There was significant wood rot to fascia. All flashing and deteriorated fascia should be replaced at time of re-roof.

Gutters & Downspouts

5) The partial gutter system showed it was leaking at joints. Recommend replacing gutters at time of re-roof.

Insulation

6) There was a good deal of displaced insulation that should be reinstalled in the attic.

Service Panel Manufacturer

7) The service panel dead front cover could not be removed during the inspection because cabinetry that was screwed to the wall in front of it. Pictures of the inside of the panel are needed for the insurance 4-Point. In the 4-Point Report, insurance companies are looking to see that there are no wiring issues that could be safety/fire hazards. Recommend having the owner clear items away from the front panel so it could be removed and photographed the 4-Point Report.

Branch Circuit Wiring

8) Exterior outlets, except for 1 by pool, did not have GFCI protection. This may be due to a failed GFCI breaker in the service panel. Have an electrician evaluate all exterior outlets to make sure they are protected.

9) There was an unplugged transformer on the left side of the home for landscape lighting. It was plugged in and no working lights were found in the landscape. Recommend further evaluation for repair, replacement or removal.

10) There was no GFCI protection for outlets in the garage. There was a GFCI breaker in the panel that was not working so possibly when replaced the protection for garage outlets will be restored. Recommend further evaluation and repair by a licensed electrician.

11) Outlets next to the kitchen sink were not GFCI protected. Recommend an electrician correct for safety.

GFCI/AFCI Breakers

12) Replace GFCI breaker in #16. It did not trip when tested.

Smoke Detectors

13) The smoke detectors were older, missing or not working, and should be replaced for fire safety. Recommend installing enough 10 year lithium back up battery smoke detectors and carbon monoxide detectors for today's standards. Check with local ordinance for proper coverage.

Condenser Make

14) The condenser was not properly secured to the concrete pad with hurricane straps. Recommend correction by an HVAC contractor per code.

Supply Pipe Material

15) Install backflow preventers to all hose bibs. These are screw on and can be purchased at Home Depot for under \$10 apiece and prevent domestic water contamination.

Bath Tub

16) Because the inspection was cut short by the seller's agent, the recirculating tub was not run with water in it. The motor did activate when turned to the on position.

Toilet

17) The master bath toilet was loose at the floor. Recommend a licensed plumber reinstall the toilet with a new wax ring and tighten to prevent movement.

GFCI Protection

18) GFCI's (Ground Fault Circuit Interrupters) are safety devices for use in wet locations. This home had no GFCI protection in the front bedroom and hall bathrooms. This may be because of the GFCI breaker in the panel that did not trip when tested. Recommend further evaluation and repair by an electrician.

GFCI Protection

19) There was no GFCI protection for outlet in the hall bath. Possibly tied to the nonworking GFCI outlet in the breaker panel.

Lawn Sprinkler

20) No irrigation timer was identified to activate a sprinkler system. Check with owner where it is or if the a HOA controls irrigation. If they do, recommend verifying.

Deck Material

21) There were some damaged coping tiles that should be replaced.

Interior Finish

22) The pool interior surface had two large rust stains. This was likely caused by rebar close to the pool surface that had rusted. Recommend further evaluation by a pool contractor for repair of these areas and refinishing of the entire pool finish.

Installed Equipment

23) The motor and pump were working and running during the inspection. The motor was a bit noisy so likely it will need replacement soon. The motor was not properly grounded which would be an electrical shock hazard. Recommend an electrician correct.

24) The pool light did not appear to be working at time of inspection. Recommend repair/replacement by a pool contractor.

25) The pool skimmer had repairs from cracks. Recommend replacing skimmer at time of pool resurfacing and wall repair.

Type of Barrier

26) A portable fence that goes between the pool and the home was not located. Ask the seller if one is included with the home.

For pool safety, the home can not be considered as a barrier to the pool because a child can enter the pool area via doors and windows. A fence between the pool and the home is to prevent accidental drowning.

General

Property Type:	Single Family
Stories:	One
Age Per Property Appraisal	1981
Website:	
Age Based On:	County Property Appraiser Website
Square Feet:	2353
Bedrooms/Baths:	3/2
Door Faces:	West
Furnished:	Yes



Comment 1:

This home was furnished so some of the wall and floor surfaces could not be inspected. Inspection of windows, outlets, switches, etc. may be impeded by furniture and personal items. Recommend walking through prior to closing for any hidden issues.

Occupied:	Yes
Weather:	Overcast
Soil Condition:	Wet
Temperature:	Warm
Utilities On During Inspection:	Electric Service, Water Service
People Present:	Client, Buyer's Agent, Seller's Agent

Site

The condition of the vegetation, grading, surface drainage and retaining walls that are likely to adversely affect the building is inspected visually as well as adjacent walkways, patios and driveways.

Site Grading:	Sloped Away From Structure
	Condition: Satisfactory
Vegetation:	Generally Maintained
	Condition: Satisfactory
Driveway:	Concrete
	Condition: Repair or Replace

(Site continued)



Comment 2:

There were some settlement cracks in the driveway. There were also missing and/or damaged decorative tiles between slabs. Fill and monitor to extend driveway lifespan.



Figure 2-1



Figure 2-2

Walkways:

Brick, Gravel, Stepping Stones

Condition: Satisfactory

Enclosure :

Property Wall

Condition: Satisfactory



Comment 3:

There were some cosmetic hairline cracks on property dividing walls. Recommend refinishing.

(Site continued)



Figure 3-1



Figure 3-2

Patios/Decks:

Concrete, Plastic Tiles

Condition: Further Evaluation Required



Comment 4:

The rear patio and area surrounding the pool had plastic flooring tiles covering the concrete deck. Only the plastic tiles could be observed for inspection.



Figure 4-1



Comment 5:

Inspection of the property grounds typically includes:

- adequate slope of grade away from foundation
- siding contact with soil
- identification of features that introduce moisture to soil near the foundation
- exterior electrical components
- exterior plumbing components
- tree problems (roots, overhanging branches, dead trees, etc.)
- retaining walls that may affect the home structure

Note: The General Home Inspection does not include inspection of landscape irrigation systems, landscape lighting, fencing or swimming pools/spas except as ancillary inspections.

Exterior

The visible condition of exterior coverings, trim and entrances are inspected with respect to their effect on the condition of the building.

Exterior Covering:

Stucco

Condition: Satisfactory

Windows:

Wood, Aluminum

Condition: Repair or Replace



Comment 6:

In general, wood/ casement windows were in poor condition. Most were missing handles so they could not be tested. There was deterioration to wood framing, etc. The sellers agent limited the inspection time so I was unable to fully inspect the windows. In general, they appeared to all be in disrepair and deteriorated except for the fairly recently replaced right rear casement windows.

(Exterior continued)



Figure 6-1



Figure 6-2



Figure 6-3

Entry Doors:

Wood, Steel

Condition: Satisfactory

Opening Protection:

Not Present

(Exterior continued)



Comment 7:

There was one hurricane protected right rear slider.



Figure 7-1



Comment 8:

Inspection of the exterior walls typically includes the following:

- exterior wall structure (material identification and condition)
- exterior wall-covering material (material identification and condition)
- window and door exterior condition
- penetration integrity
- vegetation encroachment.

Garage

Garage Type:

Attached

Condition: Satisfactory

Garage Floor :

Concrete

Condition: Satisfactory



Comment 9:

The garage floor had typical cracks.

Wall//Ceiling :

Sheetrock , Popcorn

Condition: Satisfactory

(Garage continued)



Comment 10:

Garage ceiling has some typical deterioration considering the garage environment.

Garage Size:

2 Car

Garage Door :

Not Hurricane Rated

Condition: Marginal

Door Opener:

Screw Drive

Condition: Satisfactory



Opener Safety Feature:

Light Beam

Condition: Satisfactory

Exterior Door :

Not Hurricane Rated

Condition: Marginal

Interior Door:

Fire Rated

Condition: Satisfactory



Comment 11:

Inspection of the garage typically includes examination of the following:

- general structure
- floor, wall and ceiling surfaces
- operation of all accessible conventional doors and door hardware
- overhead door condition and operation including manual and automatic safety component operation and switch placement
- proper electrical condition including Ground Fault Circuit Interrupter (GFCI) protection
- interior and exterior lighting.

Roofing

The visible condition of the roof covering, flashings, skylights, chimneys and roof penetrations are inspected. The purpose of the inspection is to determine general condition, NOT to determine life expectancy.

Inspection Method:

Roof Edge, Drone

Roof Design:

Hip

Roof Covering:

Concrete Tile

Condition: Replace

Roof Covering Age:

Permit #OCC7777; Applied for 9/28/93



Comment 12:

The average life expectancy of a concrete tile roof in South Florida is 18- 25 years. This roof has far exceeded average lifespan, had multiple previous repairs and was actively leaking at skylights in bathrooms. There was also staining to attic sheathing and trusses. There was significant deterioration to about a 3'x3' section by the rear roof vent due to a previous leak though it was dry at time of inspection. Recommend further evaluation by a licensed roofer for replacement options.



Figure 12-1



Figure 12-2



Figure 12-3



Figure 12-4



Figure 12-5

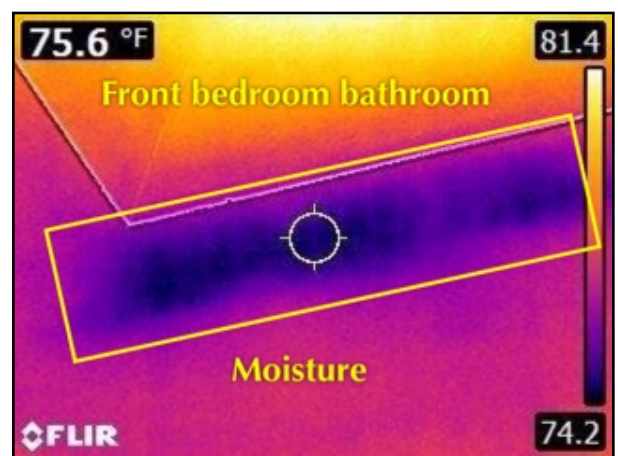


Figure 12-6

(Roofing continued)



Figure 12-7



Figure 12-8

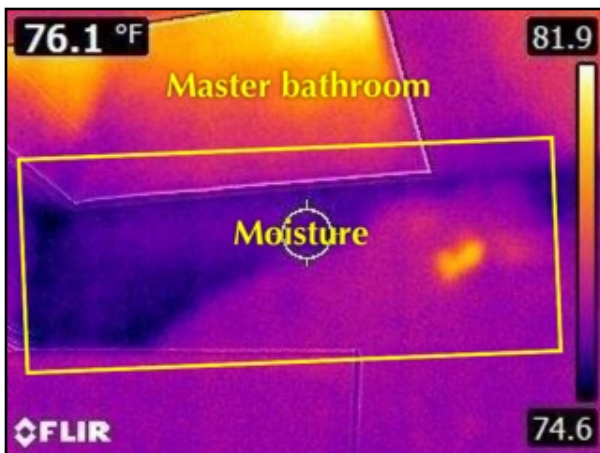


Figure 12-9



Figure 12-10

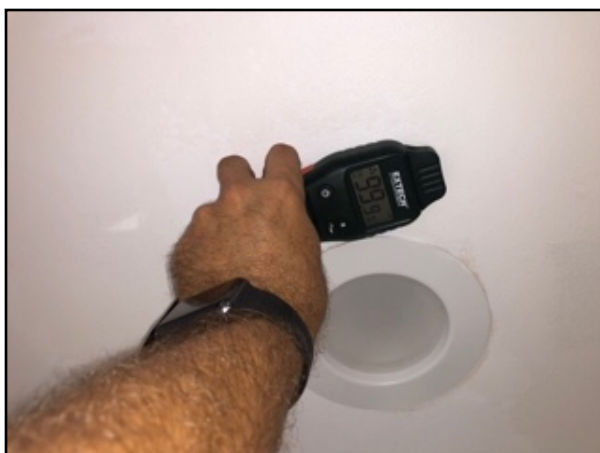


Figure 12-11

(Roofing continued)

Soffit and Fascia:

Wood

Condition: Repair or Replace



Comment 13:

There was a hole in soffit screening that should be repaired to prevent pests from entering the attic space.

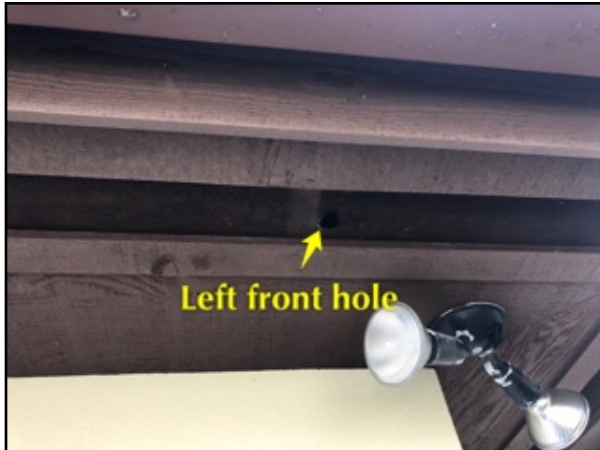


Figure 13-1

Flashings:

Metal

Condition: Replace



Comment 14:

Damage to wood fascia showed that flashing and underlayment had failed at the bottom of the roof in a number of areas. There was significant wood rot to fascia. All flashing and deteriorated fascia should be replaced at time of re-roof.

(Roofing continued)



Figure 14-1



Figure 14-2



Figure 14-3



Figure 14-4

(Roofing continued)



Figure 14-5

Vent Stacks:

Metal, Plastic

Condition: Satisfactory

Gutters & Downspouts:

Metal

Condition: Repair or Replace



Comment 15:

The partial gutter system showed it was leaking at joints. Recommend replacing gutters at time of re-roof.



Figure 15-1



Comment 16:

Roof inspection typically includes examination of the following:

- roof-covering material
- presence of an underlying membrane
- permanent structures such as chimneys
- flashing of all roof covering penetrations such as vents and chimneys, junctions with dissimilar materials, valleys, any extreme changes in the slope of the roof
- gutter and downspout condition
- fastener and mounting penetrations for any roof-mounted equipment such as any solar equipment, HVAC equipment or supports for structures such as chimneys or combustion vents or flues.
- condition of any installed skylights
- visible roof framing

As with all areas of the building, we recommend that you carefully examine the roof immediately prior to close. Always ask the seller about the age and history of the roof. On any building that is over 3 years old, experts recommend that you obtain a roof certification from an established local roofing company to determine its serviceability. We certainly recommend this for any roof over 5 years of age.

It is impossible to determine the integrity of a roof, absent of performing an invasive inspection, and absent of obvious defects noted, especially if inspection had not taken place during or immediately after a sustained rainfall. Inspector makes no warranty as to the remaining life of this roof or related components.

We evaluate every roof conscientiously, but we will not predict its remaining life expectancy, or guarantee that it will not leak. Always remember that the harsh conditions of South Florida can have an immediate impact on our roofs ability to shed all water.

The majority of leaks result when a roof has not been well maintained or kept clean, and we recommend servicing them annually and after significant storm events.

Structure

The visible condition of the structural components is inspected. The determination of adequacy of structural components is beyond the scope of a home inspection.

Foundation Types:	Monolithic Slab
Foundation Material:	Poured Concrete
Wall Structure:	Masonry and Frame
	Condition: Satisfactory



Comment 17:

The Home Inspector shall observe structural components including foundations, floors, walls, columns or piers, ceilings and roof. The home inspector shall describe the type of foundation, floor structure, wall structure, columns or piers, ceiling structure, roof structure. The home inspector shall: probe structural components where deterioration is suspected; enter under floor crawl spaces and attic spaces except when access is obstructed, when entry could damage the property, or when dangerous or adverse situations are suspected; report the methods used to observe under floor crawl spaces and attics; and report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to: enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely effect the health of the home inspector or other persons.

While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair of issues as they relate to the comments in this inspection report.

Attic

Attic Entry:	Garage, Bedroom Closet
Roof Framing Type:	Wood Trusses
	Condition: Satisfactory
Roof Deck Material:	Plywood
	Condition: Satisfactory

(Attic continued)

Vent Risers:

Metal, PVC

Condition: Satisfactory

Insulation:

Fiberglass Batts, R-19

Condition: Repair



Comment 18:

There was a good deal of displaced insulation that should be reinstalled in the attic.



Figure 18-1

Roof To Deck Attachment:

Staples

Condition: Repair



Comment 19:

The roof decking attachment to trusses had the lowest possible credit. This is because the roof was built before current hurricane standards which would require 8d nailing.

(Attic continued)

Roof To Wall Attachment:

Single Wraps

Condition: Satisfactory



Comment 20:

Inspection of the attic typically includes the following:

- roof structure (framing and sheathing)
- attic space ventilation
- thermal insulation
- electrical components (outlets, switches and lighting)
- plumbing components (supply and vent pipes, bathroom vent terminations)
- HVAC components (drip pans, ducts, condensate and TPR discharge pipes).

Insulation and Ventilation

Ventilation - Attic/Foundation :

Soffit, Roof Vents

Condition: Satisfactory

Venting Systems:

Kitchen Exhaust, Bathroom Exhaust, Dryer Vents

Condition: Satisfactory



Comment 21:

A dryer vent connection was installed in the laundry room.

Although the Inspector operated the dryer briefly, the dryer vent connection was examined visually only. A visual examination will not detect the presence of lint accumulated inside the vent, which is a potential fire hazard.

The Inspector recommends that you have the dryer vent cleaned at the time of purchase and annually in the future to help ensure that safe conditions exist. Lint accumulation can occur even in approved, properly installed vents



Figure 21-1



Comment 22:

The home inspector shall observe: ventilation of attics and foundation areas; kitchen, bathroom, and laundry venting systems; and the operation of any readily accessible attic ventilation fan, and, when temperature permits, the operation of any readily accessible thermostatic control. The home inspector shall inspect: plumbing drain/waste pipes penetrate floors, adjacent to earth filled stoops or porches, and at exterior doors. The home inspector is not required to report on: Venting equipment that is integral with household appliances.

Electrical

The inspector can not inspect hidden wiring or verify if the number of outlets is per the National Electric Code. A representative number of outlets, switches and fixtures are tested for operation.

Type of Service:

Underground



Main Disconnect Location:

Service Panel

Service Panel Location:

Garage

Service Panel Manufacturer:

Square D

Condition: Satisfactory



(Electrical continued)



Comment 23:

The service panel dead front cover could not be removed during the inspection because cabinetry that was screwed to the wall in front of it. Pictures of the inside of the panel are needed for the insurance 4-Point. In the 4-Point Report, insurance companies are looking to see that there are no wiring issues that could be safety/fire hazards. Recommend having the owner clear items away from the front panel so it could be removed and photographed the 4-Point Report.

Service Line Material:

Copper

Condition: Satisfactory

Service Voltage:

240 volts

Service Amperage:

225 amps



Service Panel Ground:

Cold Water Pipe, Ground Rod

Branch Circuit Wiring:

Non-Metallic Shielded Copper

Condition: Satisfactory



Comment 24:

Exterior outlets, except for 1 by pool, did not have GFCI protection. This may be due to a failed GFCI breaker in the service panel. Have an electrician evaluate all exterior outlets to make sure they are protected.



Figure 24-1

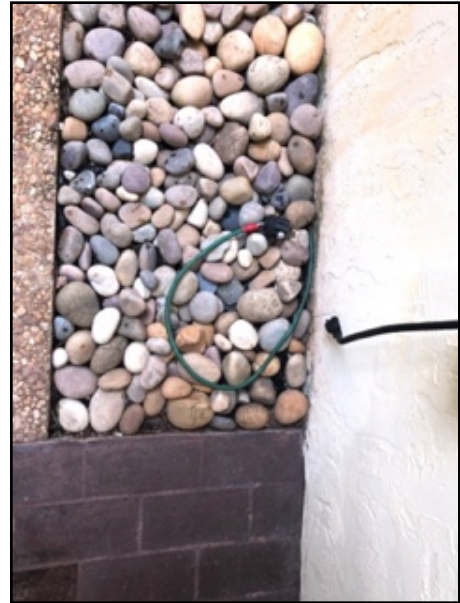


Figure 24-2



Comment 25:

There was an unplugged transformer on the left side of the home for landscape lighting. It was plugged in and no working lights were found in the landscape. Recommend further evaluation for repair, replacement or removal.



Figure 25-1



Figure 25-2



Comment 26:

There was no GFCI protection for outlets in the garage. There was a GFCI breaker in the panel that was not working so possibly when replaced the protection for garage outlets will be restored. Recommend further evaluation and repair by a licensed electrician.



Figure 26-1



Figure 26-2

(Electrical continued)



Comment 27:

Outlets next to the kitchen sink were not GFCI protected. Recommend an electrician correct for safety.



Figure 27-1

Overcurrent Protection:

Breakers

Condition: Satisfactory

GFCI/AFCI Breakers:

No

Condition: Repair

(Electrical continued)



Comment 28:

Replace GFCI breaker in #16. It did not trip when tested.

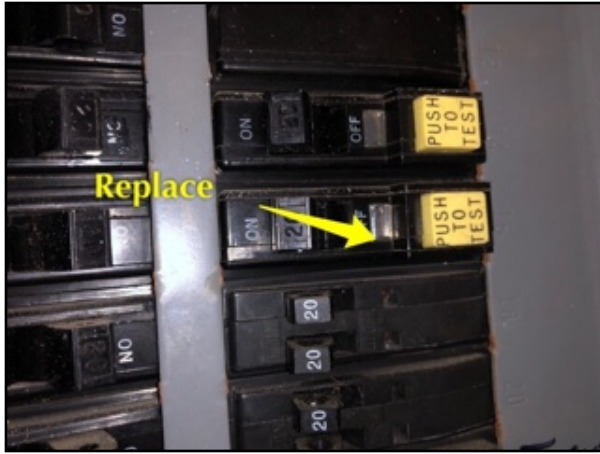


Figure 28-1

Smoke Detectors:

Hard Wired

Condition: Replace



Comment 29:

The smoke detectors were older, missing or not working, and should be replaced for fire safety. Recommend installing enough 10 year lithium back up battery smoke detectors and carbon monoxide detectors for today's standards. Check with local ordinance for proper coverage.



Figure 29-1



Comment 30:

Although familiarity with electrical systems is a fundamental part of home inspection, inspectors are not trained to the same extent as electricians, and will not be familiar with all of the many different electrical systems and components installed over the years.

The electrical system a home may be affected by the following:

- building Code requirements
- local building practices
- installation workmanship
- adequate maintenance practices
- original construction budget
- changes made by homeowners

Electrical standards and codes have evolved over the years and home electrical systems and their components are required to comply only with codes that were in effect at the time the home was originally built, or additional work requiring a permit was performed.

WHAT IS INCLUDED?

Inspection of the electrical system typically includes the following:

- service drop (conductor configuration and condition)
- mast & weatherhead
- meter
- service- and sub-panels (component condition and configuration)
- branch wiring (condition, configuration & limited testing)
- grounding and bonding

HVAC

HVAC System Type:

Central Split System



Comment 31:

The air conditioning system was a split system in which the cabinet housing the compressor, cooling fan and condensing coils was located physically apart from the evaporator coils.

As is typical with split systems, the compressor/condenser cabinet was located at the home's exterior so that the heat collected inside the home could be released to the outside air. Evaporator coils designed to collect heat from the home interior were located inside a duct at the furnace.

An HVAC system has an expected lifespan of 10-15 years.

Conditions that effect lifespan:

- Quality of the system purchased
- Location and exposure to elements(rain, sun)
- Proximity to trees and shrubbery
- Performance of maintenance on a schedule



Comment 32:

There was an abandoned HVAC heat recovery unit. This unit was bypassed. This is not usual when the original HVAC system is replaced. Often a decision is made to bypass.

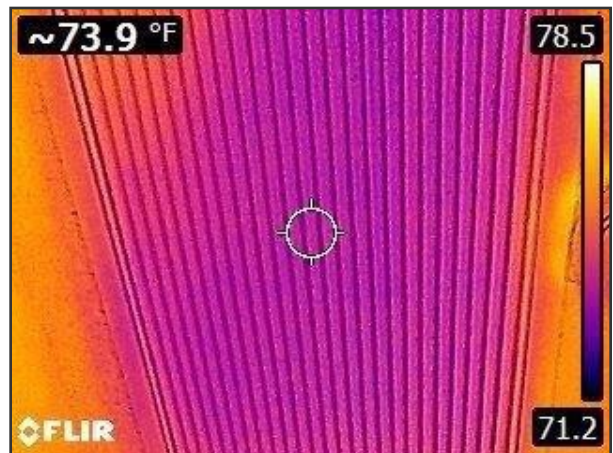
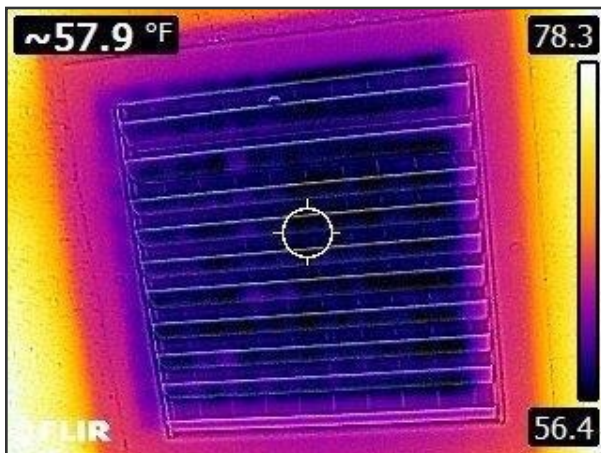
The Heat Recovery Unit captures waste heat discharged from an Air Conditioning or Heat Pump system, and transfers that heat into a water heater tank, thereby creating low cost hot water for domestic use.

Cooling

Condenser Make:



(Cooling continued)



Comment 33:

The condenser was not properly secured to the concrete pad with hurricane straps. Recommend correction by an HVAC contractor per code.

Condensor Size:	60,000 BTU (5 Tons)
Condenser Approximate Age:	March 2004
Condensate Drainage:	To Exterior
	Condition: Satisfactory
AC Supply Air Temp:	57.9
AC Return Air Temp:	73.9
AC Temperature Drop:	16°

Air conditioners over 10 years old and heat pumps over 5 years old should be checked, cleaned and serviced yearly by a licensed contractor.

Page 38 of 65

(Heating continued)

Filter Type:

Disposable
Condition: Replace



Comment 34:

The attic installed filter appeared to be the wrong size. Recommend installing the proper size.



Figure 34-1

Output Temperature:

91°

Type of Distribution:

Flexible Ducting, Rigid Ducting
Condition: Satisfactory



Comment 35:

Some of the ductwork appeared to have been updated in 2004 with the air handler. Other portions were older but appeared functional.

Furnaces over 10 years old should be checked, cleaned and serviced yearly by a licensed contractor.

Plumbing

The plumbing system is inspected visually and by operating a representative number of fixtures and drains. Private water and waste systems are beyond the scope of a home inspection.

Water Service:	Public
Supply Pipe Material:	Copper
	Condition: Satisfactory



Comment 36:

Install backflow preventers to all hose bibs. These are screw on and can be purchased at Home Depot for under \$10 apiece and prevent domestic water contamination.



Figure 36-1



Figure 36-2

(Plumbing continued)

Location of Main Water Shutoff: Left Exterior Wall



Sewer System: Public



Comment 37:

No part of the city sewage system was inspected.

Waste Pipe Material: PVC
Condition: Satisfactory



Comment 38:

Inspection of the plumbing system typically includes:

- gas system
- water supply pipes
- drain, waste and vent (DWV) system
- water heater (type, condition and operation)
- sewage disposal system (identification of system type).



Comment 39:

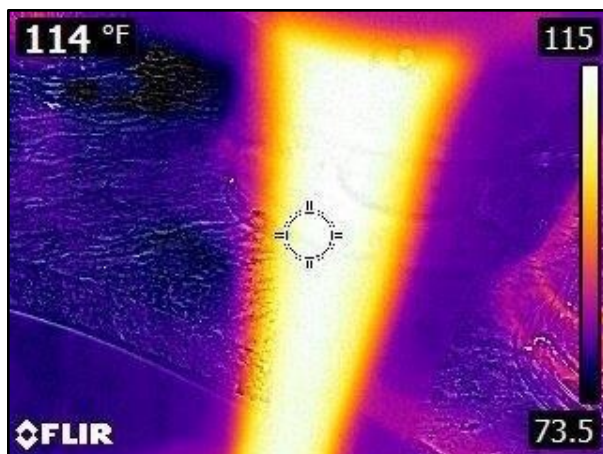
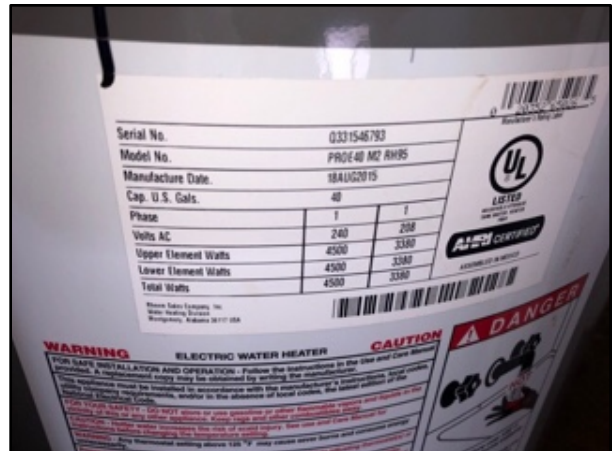
All plumbing fixtures were observed through an Infrared Camera for leaks.

(Plumbing continued)

Water Heater

Manufacturer:

Rheem



Fuel:

Electric

Capacity:

40 gal

Approximate Age:

August 2015

(Water Heater continued)

Temp & Pressure Relief Valve:

Present With Blow Off Leg
Condition: Satisfactory



Fuel Disconnect:

In Same Room

Hot Water Temperature :

114°



Comment 40:

Water heaters should be expected to last 5-15 years.

The lifespan of water heaters depends upon the following:

- The quality of the water heater
- The chemical composition of the water
- The long-term water temperature settings
- The quality and frequency of past and future maintenance

Flushing the water heater tank once a year and replacing the anode every four years will help extend its lifespan. You should keep the water temperature set at a minimum of 120 degrees Fahrenheit to kill microbes and a maximum of 125 degrees to prevent scalding.

(Plumbing continued)

Water Softener / Filtration System

Manufacturer:

Clack

Condition: Not Inspected



Comment 41:

Water filtration systems are not part of a home inspection. No leaks were observed.



Figure 41-1



Figure 41-2



Figure 41-3

Approximate Age:

Unkown



Comment 42:

The water softener / filtration system was not inspected. Recommend calling the company that services this system for inspection. An FHA / VA water test is available for \$150.

Interior

The interior inspection is limited to readily accessible areas that are not concealed by furnishings or stored items. A representative number of windows and doors.

Floors:	Tile Condition: Satisfactory
Walls/Ceilings:	Painted Drywall, Popcorn Condition: Satisfactory
Window Types:	Casement Condition: Replace
Window Materials:	Wood, Aluminum
Interior Door Materials:	Wood



Comment 43:

Inspection of the interior does not include testing for radon, mold or other hazardous materials.

The Consumer Product Safety Commission ranks mold fifth among potential contaminants. Regardless, a person's health is a truly personal responsibility, inasmuch as we do not inspect for mold or test for other environmental contaminants, we recommend that you schedule an inspection by an environmental hygienist before close of escrow. And this would be imperative if you or any member of your family suffers from allergies or asthma, and could require the sanitizing of air ducts and other concealed areas.

Note: Mold cannot exist without moisture. Therefore, any moisture whatsoever, whether it be from inadequate grading and drainage, a leaking roof, window, or door, or moisture from a faulty exhaust vent, a condensate pipe, an evaporator coil, or a component of a plumbing system should be serviced immediately, or a potential for mold contamination will remain.

(Interior continued)

WHAT IS INCLUDED?

ROOMS

- Wall, floor and ceiling surfaces
- Doors, interior, exterior and sliding glass including hardware (condition and proper operation)
- Windows (type, condition and proper operation)
- Ceiling fans (condition and proper operation)

ELECTRICAL

- Switches and outlets (condition and proper operation)
- Lighting fixtures (condition and proper operation)

INTERIOR TRIM

- Door casing
- Window casing, sashes and sills (condition and proper operation)
- Baseboard
- Molding (crown, wainscot, chair rail, etc.)

Kitchen

Flooring:	Tile Condition: Satisfactory
Cabinets:	Laminated Condition: Satisfactory
Countertops:	Granite Condition: Satisfactory
Sink:	Double Condition: Satisfactory



Comment 44:

Inspection of kitchens typically includes the following:

ROOM

- wall, ceiling and floor
- windows, skylights and doors

APPLIANCES

- range/cooktop (basic functions, anti-tip)
- range hood/downdraft (fan, lights, type)
- dishwasher (operated only at the Inspector's discretion)

CABINETS

- exterior and interior
- door and drawer

SINK

- basin condition
- supply valves
- adequate trap configuration
- functional water flow and drainage
- disposal.

Appliances

This is a cursory check only of the specified appliances. The accuracy or operation of timers, temperature or power level controls is beyond the scope of this inspection.

Range:

Condition: Satisfactory



Condition: Satisfactory

LG

Condition: Satisfactory



(Appliances continued)

Dishwasher:

LG

Condition: Satisfactory



Microwave:

Not Inspected

Disposal:

Insinkerator

Condition: Satisfactory





Comment 45:

The appliances are all turned on and run, to ensure they operate. The testing done is general in nature, and not exhaustive. We do not verify appliance thermostats including calibration, adequacy of heating elements, self-cleaning oven cycles, indicator lights, door seals, timers, clocks, timed features, ice-maker production, and other specialized features of the appliance. Note that if the occupant has dishes in the dishwasher or clothes in the washer or dryer, we do not operate them and will note the limitation in our ability to inspect or test results.

Note: Kitchen appliances are not covered under any guarantee or warranty by our company.

Bar

Cabinets:	Laminated Condition: Satisfactory
Countertops:	Laminated Condition: Satisfactory
Sink:	Single Condition: Satisfactory

Bathrooms

Bathroom - Master

Floor:	Tile Condition: Satisfactory
Ceiling & Walls:	Drywall/Plaster Condition: Further Evaluation Required
Bath Tub:	Recessed, Recirculating Condition: Not Inspected



Comment 46:

Because the inspection was cut short by the seller's agent, the recirculating tub was not run with water in it. The motor did activate when turned to the on position.



Figure 46-1

Shower:

Stall

Condition: Satisfactory

Sink(s):

Double Vanity

Condition: Repair



Comment 47:

Sink drain stoppers were missing in master bathroom.

Toilet:

Standard Tank

Condition: Repair



Comment 48:

The master bath toilet was loose at the floor. Recommend a licensed plumber reinstall the toilet with a new wax ring and tighten to prevent movement.

Shower Walls:

Tile

Condition: Satisfactory

Ventilation Type:

Ventilator

Condition: Satisfactory

GFCI Protection:

Outlets

Condition: Satisfactory

Bathroom #2

Location:	Hall
Floor:	Vinyl
	Condition: Satisfactory
Ceiling & Walls :	Drywall/Plaster, Tile
	Condition: Further Evaluation Required



Comment 49:

There was some staining to the wall underneath the sink but it was dry at time of inspection. Likely from a previous leak.



Figure 49-1

Bath Tub:	Recessed
	Condition: Satisfactory
Shower:	In Tub
	Condition: Satisfactory
Sink(s):	Single Vanity
	Condition: Satisfactory
Toilet:	Standard Tank
	Condition: Satisfactory
Shower Walls:	Tile
	Condition: Satisfactory
Ventilation Type:	Ventilator
	Condition: Replace

(Bathroom #2 continued)



Comment 50:

Bathroom ventilator fan was noisy in the front bedroom bathroom.

GFCI Protection:

Not Present



Comment 51:

GFCI's (Ground Fault Circuit Interrupters) are safety devices for use in wet locations. This home had no GFCI protection in the front bedroom and hall bathrooms. This may be because of the GFCI breaker in the panel that did not trip when tested. Recommend further evaluation and repair by an electrician.

Bathroom #3

Location:

Hall

Floor:

Tile

Ceilings & Walls:

Condition: Satisfactory

Drywall & Plaster

Sink(s):

Condition: Satisfactory

Single Vanity

Toilet:

Condition: Satisfactory

Standard Tank

Ventilation Type:

Condition: Satisfactory

Ventilator

GFCI Protection:

Condition: Satisfactory

Not Present



Comment 52:

There was no GFCI protection for outlet in the hall bath. Possibly tied to the nonworking GFCI outlet in the breaker panel.



Figure 52-1

Bedrooms

Bedroom #1 - Master

Flooring:	Carpet Condition: Satisfactory
Ceiling & Walls:	Drywall/Plaster, Popcorn Condition: Satisfactory
Electrical:	Switches and Outlets, Ceiling Fan Condition: Satisfactory
Windows:	Casement Condition: Replace
Doors:	Hinged, Slide Condition: Satisfactory

Bedroom #2

Location :	Front Right
Flooring:	Carpet Condition: Satisfactory

(Bedroom #2 continued)

Ceiling & Walls:

Drywall/Plaster, Popcorn
Condition: Satisfactory



Electrical:

Switches and Outlets
Condition: Satisfactory

Windows:

Casement
Condition: Not Inspected



Comment 53:

Turn handles were missing so those windows were not inspected.

Doors:

Hinged
Condition: Satisfactory

Bedroom #3

Location :

Middle

Flooring:

Carpet

Condition: Satisfactory

Ceiling & Walls:

Drywall/Plaster, Popcorn
Condition: Satisfactory

Electrical:

Switches and Outlets, Light Fixture
Condition: Satisfactory

Windows:

Casement
Condition: Replace

Doors:

Hinged, Slide
Condition: Satisfactory

Laundry

Laundry Hook Ups:

Yes

Condition: Satisfactory

Washer:

Not Inspected



Dryer:

Not Inspected



Comment 54:

Inspection of the laundry room typically includes examination of the following:

- switches and outlets (120-volt and 240-volt if installed)
- exhaust fan
- dryer vent
- presence of clothes washer connections and waste pipe
- sink, faucet, drain, and undersink plumbing
- cabinets
- floor, wall and ceiling surfaces
- door and window condition and operation

Note: In accordance with industry standards, we do not test washing machines and their water connections and drainpipes. However, there are a few things of which you should be aware. The water supply to washing machines is usually left on, and their hoses can leak or burst under pressure and continue to flow. Therefore, we recommend replacing the rubber hose type with newer, braided, stainless steel ones that are much more dependable. You should also be aware that the newer washing machines discharge a greater volume of water than many of the older drainpipes can handle, which causes the water to back up and overflow, and

(Laundry continued)

the only remedy would be to replace the standpipe and trap with one that is a size larger. Although not required, whenever structural damage may result from an overflow, we recommend a pan with a plumbed drain. An alternative is a flood or leak detection device that will terminate the water supply in a water pipe failure.

Lawn Sprinkler



Comment 55:

No irrigation timer was identified to activate a sprinkler system. Check with owner where it is or if the a HOA controls irrigation. If they do, recommend verifying.

Pool/Spa

The inspection of the pool/spa and related components is limited to the visual observation of the listed components if operating. The determination of if the pool is leaking or will leak is beyond the scope of this inspection.

Deck Material:

Concrete, Plastic tiles

Condition: Satisfactory

(Pool/Spa continued)



Comment 56:

There were some damaged coping tiles that should be replaced.

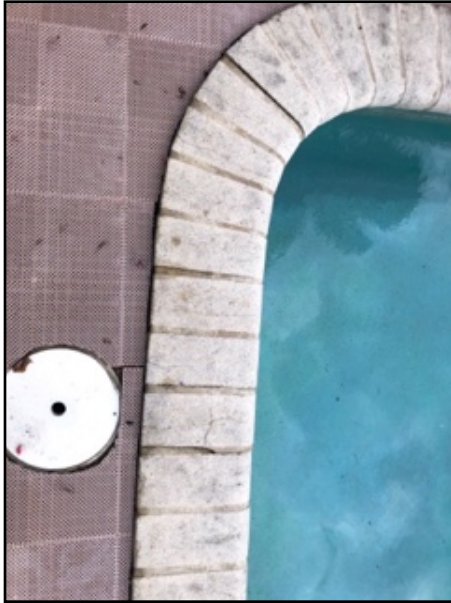


Figure 56-1

Interior Finish:

Concrete/Aggregate



Comment 57:

The pool interior surface had two large rust stains. This was likely caused by rebar close to the pool surface that had rusted. Recommend further evaluation by a pool contractor for repair of these areas and refinishing of the entire pool finish.

(Pool/Spa continued)



Figure 57-1



Figure 57-2

Installed Equipment:

Pump/Motor, Labeled Supply Pipes, Valves, Salt Generator, Heater, Pool Light



Comment 58:

The motor and pump were working and running during the inspection. The motor was a bit noisy so likely it will need replacement soon. The motor was not properly grounded which would be an electrical shock hazard. Recommend an electrician correct.



Figure 58-1



Comment 59:

The cartridge style filter was functioning at time of inspection.



Figure 59-1



Comment 60:

All the valves were operated and appeared to be functioning properly.



Comment 61:

There was a small plumbing leak that should be repaired.



Figure 61-1



Comment 62:

The pool heater was turned on at time of inspection and heating water.



Figure 62-1



Figure 62-2



Comment 63:

Chlorinator appeared to be functioning at time of inspection.



Figure 63-1

(Pool/Spa continued)



Comment 64:

The pool timer device was working at time of inspection.



Figure 64-1



Comment 65:

The pool light did not appear to be working at time of inspection. Recommend repair/replacement by a pool contractor.

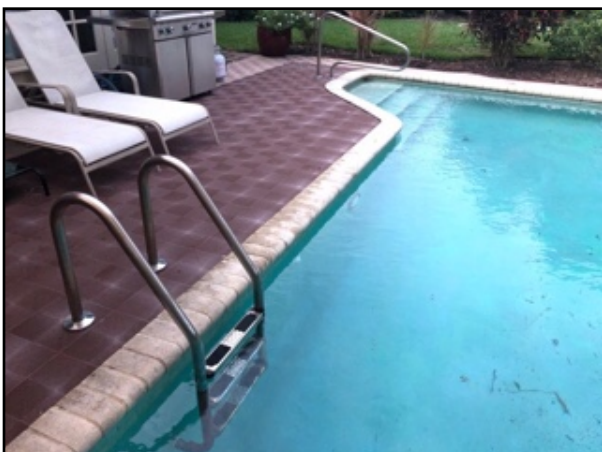


Figure 65-1

(Pool/Spa continued)



Comment 66:

The pool skimmer had repairs from cracks. Recommend replacing skimmer at time of pool resurfacing and wall repair.

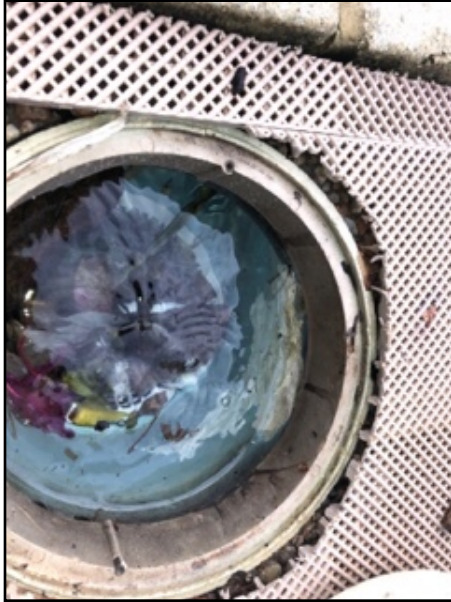


Figure 66-1

Type of Barrier:

Fence

Condition: Marginal



Comment 67:

A portable fence that goes between the pool and the home was not located. Ask the seller if one is included with the home.

For pool safety, the home can not be considered as a barrier to the pool because a child can enter the pool area via doors and windows. A fence between the pool and the home is to prevent accidental drowning.



Comment 68:

This is a visual inspection of the pool and pool equipment. The pool was observed and an attempt to run all the equipment was made.

A more comprehensive pool inspection is recommended where a diver gets into the pool and inspects the drains and pool wall surfaces along with a rigorous inspection of all the equipment.

It is recommended to contact the pool servicing company to gather additional observations and history of the pools service.

Home inspectors are not required to report on the following:

- life expectancy of any component or system
- the causes of a need for a repair
- the methods, materials, and costs of corrections
- the suitability of the property for any specialized use
- compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions
- the market value of the property or its marketability
- the advisability or inadvisability of purchase of the property
- any component or system that was not observed
- the presence or absence of pests such as wood damaging organisms, rodents, or insects
- cosmetic items, underground items, or items not permanently installed.

Home inspectors are not required to:

- offer warranties or guarantees of any kind
- calculate the strength, adequacy, or efficiency of any system or component
- enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons
- operate any system or component that is shut down or otherwise inoperable
- operate any system or component that does not respond to normal operating controls
- disturb insulation or move personal items